

DRAFT RESOLUTION

Re: Development Permit Application No. DP10-0082 and Development Variance Permit Application No. DVP10-0075 - Kane #2 Resources Ltd. (Protech Consultants Ltd.) - 335 Gerstmar Road

THAT Council defers consideration of Development Permit Application No. DP10-0082 and Development Variance Permit Application No. DVP10-0075 to the December 14, 2010 Regular Meeting.

BACKGROUND:

Staff has advised that the development sign posted on the subject property did not meet the requirements of Development Application Procedure Bylaw No. 8140 with respect to signage. The Applicant is aware that Council's consideration of this application will have to be deferred.

Date: November 24, 2010



Memo



Date: November 5, 2010

To: City Manager

From: Land Use Management, Community Sustainability

Application: DP10-0082/DVP10-0075 **Owner:** Kane #2 Resources Ltd.

Address: 335 Gerstmar Road **Applicant:** Protech Consultants Ltd.
(G. Maddock)

Subject: Development & Development Variance Permit

Existing OCP Designation: Multiple Unit Residential (Low Density)

Existing Zone: RU1 - Large Lot Housing

Proposed Zone: RM3 - Low Density Multiple Housing

1.0 Recommendation

THAT Final Adoption of Zone Amending Bylaw No. 10404 be considered by Council;

AND THAT Council authorize the issuance of Development Permit No. DP10-0082 for Lot 1, Section 22, Township 26, ODYD, Plan 12346, located at 335 Gerstmar Road, Kelowna BC, subject to the following:

1. The dimensions of and siting of the building to be constructed on the land be in general accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
3. Landscaping to be provided on the land be in general accordance with Schedule "C";
4. The applicant be required to post with the City, a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper;

AND THAT Council authorize the issuance of Development Variance Permit No. DVP10-0075 for Lot 1, Section 22, Township 26, ODYD, Plan 12346, located at 335 Gerstmar Road, Kelowna BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 13.9.6b - Development Regulations: To vary required maximum site coverage (including buildings, driveways, and parking areas) from 50% permitted to 54% proposed.

AND THAT the issuance of the Development Variance Permit be subject to Permeable paving treatment being incorporated into the site plan, as per Schedule "D" (Drawing #10014-00 from Protech Consultants Ltd.)

AND FURTHER THAT the applicant be required to complete the above noted conditions within 180 days of Council approval of the Development Permit application, in order for the permit to be issued.

2.0 Purpose

The applicant is seeking a Development Permit to approve the form & character of a 13-unit townhome development, as well as a Development Variance Permit to allow site coverage in excess of Zoning Bylaw provisions.

3.0 Land Use Management

The proposed townhomes would provide ground-orientated housing in an area where density is encouraged given that the subject property is within walking distance to the Rutland Urban Centre and is in close proximity to schools and park space. With variation in rooflines, finishing materials and accent colours, units are differentiated and each building is well-articulated. Numerous plantings between driveways and units offers further visual interest. Each unit is provided with a private patio and ample rear yard space, exceeding private open space requirements.

The requested variance to total site coverage (including buildings, parking and driveways) represents a four-percent excess over the permitted 50% coverage - approximately 180m². In support of the variance request, the applicant has referenced the ample private open space provided for each unit, and surrounding each end-unit.

The Land Use Management Department is willing to support the proposed variance, subject to the inclusion of permeable paving treatment on either side of the driveway. This option was noted by the Advisory Planning Commission as a method to improve the project. To this end, the applicant has provided a drawing (Schedule "D") which shows the proposed 'soaker strips', with 143m² of permeable paving, which is equal to the four percent excess in site coverage.

Given the above considerations, the Land Use Management Department recommends support for the proposed Development Permit and Development Variance Permit.

4.0 Proposal

4.1 Background

There is an existing single family dwelling on the subject property. In addition to consideration of the Development Permit and Development Variance Permit, this report also requests final adoption of an application to rezone the subject property from the RU1 - Large Lot Housing zone to the RM3 - Low Density Multiple Housing zone.

4.2 Project Description

A single L-shaped driveway from Gerstmar Road would give access to each unit. Two parking stalls are provided per unit with individual driveways leading to a single-car garage. The site plan incorporates 13 ground-orientated, semi-detached townhomes, including a four-unit and a five-unit building running perpendicular to Gerstmar Road, with an additional four-unit building orientated parallel to Gerstmar at the rear of the property. Eight units are designated as 3-bedroom and five as 2-bedroom with den. Each dwelling would have a full basement below the main floor.

The craftsman-style design includes a mix of neutral-toned vinyl siding with accenting hardie-board shingles, with each building utilizing a unique colour pallet. Individual units are staggered within each building, which in conjunction with roofline variations help to differentiate between each dwelling. A hipped roofline includes chimney-like parapets trimmed in contrasting colours.

The proposal requires a Development Variance Permit to relax total permitted site coverage inclusive of driveways and parking. The RM3 zone allows 50% total site coverage in this regard, while the design proposes 54% coverage. Site coverage for buildings-only is designed at 27%, where 40% is permitted.

The landscape plan provides buffering from adjacent neighbours, as well as plantings between units and driveways to add visual interest within the project. Turf areas are proposed in the rear yards of the units for recreation space as well as surrounding the townhome buildings. There are a number of mature trees on the site which have been preserved where feasible. Notably, a large chestnut tree would remain along the Gerstmar frontage to create immediate buffering.

4.3 Site Context

The subject property is located in the South Rutland area, west of the Rutland Urban Centre boundary. The surrounding area includes a variety of residential uses.

Specifically, the adjacent zones and uses are as follows:

Orientation	Zoning	Land Use
North	RU6 - Two Dwelling Housing RM3 - Low Density Multiple Housing	Duplex Housing Congregate Housing
East	RM3 - Low Density Multiple Housing	Townhomes
South	RM3 - Low Density Multiple Housing	Townhomes
West	RU1 - Large Lot Housing	Single Family Housing

Subject Property Map: 335 Gerstmar Road



Zoning Analysis Table		
Criteria	Proposal	RM3 Zone Requirements
Existing Lot		
Site Area (m ²)	3539m ²	900m ²
Site Width (m)	36.58m	30.0m
Site Depth (m)	96.74m	30.0m
Development Regulations		
Site Coverage (%) [buildings]	27.25%	40%
Site Coverage (%) [including driveways/parking]	54% ^①	50%
F.A.R.	0.595	0.5 (+ 0.2 for screened parking)= 0.7 FAR
Height (m)	6.477m	9.5m
Storeys (#)	2.0 storeys	2.5 storeys
Required Setbacks		
Front (Gerstmar Rd)	4.57m	4.5m
Rear (east)	7.62m	7.5m
Side (north)	6.65m	4.5m
Side (south)	6.1m	4.5m
Other Regulations		
Private Open Space	520m ² total	<u>13 units x 25 m²</u> Total: 325 m ²
Parking Spaces (#)	26 spaces	<u>8 units x 3 bedroom (2 spaces)</u> <u>5 units x 2 bedroom (1.5 spaces)</u> Total: 24 spaces
① Indicates a variance to total permitted site coverage from 50% to 54.1% proposed.		

5.0 Current Development Policies

5.1 Kelowna 2020 - Official Community Plan (OCP)

Ground-Oriented Housing.¹ Encourage the development of ground-oriented multiple unit housing as an affordable housing choice for the rental or ownership markets, including families with children, in those areas where Map 19.1 indicates necessary densities as being appropriate. Ground oriented housing is defined as housing where each dwelling unit has direct access to the unit and private open space at grade level.

Family Housing.² Encourage family-oriented townhouses or apartment housing, and work to achieve some family housing that conforms to the City's definitions of affordability (see 8.1.16), especially within, and in proximity to, Urban Centre areas.

Guidelines for Multiple Unit Development³:

Landscaping:

- Enhance public views; create shade, colour and design interest.
- Incorporate native plants where practical.
- Incorporate xeri-scape vegetation and principles.

¹ City of Kelowna Official Community Plan, Policy 8.1.38 (Housing Chapter)

² City of Kelowna Official Community Plan, Policy 8.1.39 (Housing Chapter)

³ City of Kelowna Official Community Plan, Policy 8.2 (Housing Chapter)

Relationship to the Street:

- First storey units should ideally provide ground-level access and outdoor amenity space.

Building massing:

- Developments with multiple, separate buildings should be designed in such a manner that individual buildings contain different, but compatible shapes, masses and/or exterior finishes.
- Developments should be sensitive to and compatible with the massing and rhythm of the established streetscape.
- Sub-roofs, dormers, balconies and bay windows should be encouraged.
- Variation between architectural bays within each façade is encouraged.

Ancillary Services/Utilities:

- Loading, garbage and other ancillary services should be located at the rear of buildings.

Amenities:

- Appropriate high quality public spaces, which provide links to surrounding areas and open space relief within the development, should be achieved from a lane.

Parking:

- Underground parking is encouraged.

6.0 Technical Comments

6.1 Building & Permitting Department

Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permits. Full Plan check for Building Code related issues will be done at time of Building Permit applications

6.2 Development Engineering Department

Requirements met through concurrent rezoning application.

6.3 Bylaw Services - n/a

6.4 Fire Department

"No Parking" signs are to be provide along the 6M access road. The complex requires 150 ltr/sec fire flow as per the City of Kelowna Subdivision Bylaw #7900.

6.5 Interior Health Authority

No concerns.

6.6 Irrigation District - Rutland Waterworks

Requirements met through concurrent rezoning application.

6.7 School District No. 23 - n/a

7.0 Application Chronology

Date of Application Received: June 1, 2010
Advisory Planning Commission: June 22, 2010

The above noted application was reviewed by the Advisory Planning Commission at the meeting on June 22, 2010 and the following recommendations were passed:

THAT the Advisory Planning Commission support Development Permit Application No. DP10,0082, for 335 Gerstmar Road, to allow a development permit for form and character of a 13-unit townhome development.

THAT the Advisory Planning Commission NOT support Development Variance Permit Application No. DVP10,0075, for 335 Gerstmar Road, to vary the total site coverage (incl. driveways and parking areas) from 50% permitted to 54% proposed.

While the Advisory Planning Commission supports the Development Permit, Members suggested the Applicant provide more landscaped green space and less granular mulch. The Advisory Planning Commission does not support the development variance permit request and recommends the Applicant achieve the variance requirement by working with staff on permeable pavers to reduce the amount of pavement.

Third Reading of Zone Amending Bylaw: September 21, 2010
Outstanding requirements satisfied by applicant: October 26, 2010

Report prepared by:



Luke Turri, Land Use Planner

Reviewed by:



Danielle Noble, Manager, Urban Land Use Management

Approved for Inclusion:



Shelley Gambacort, Director, Land Use Management

Attachments:

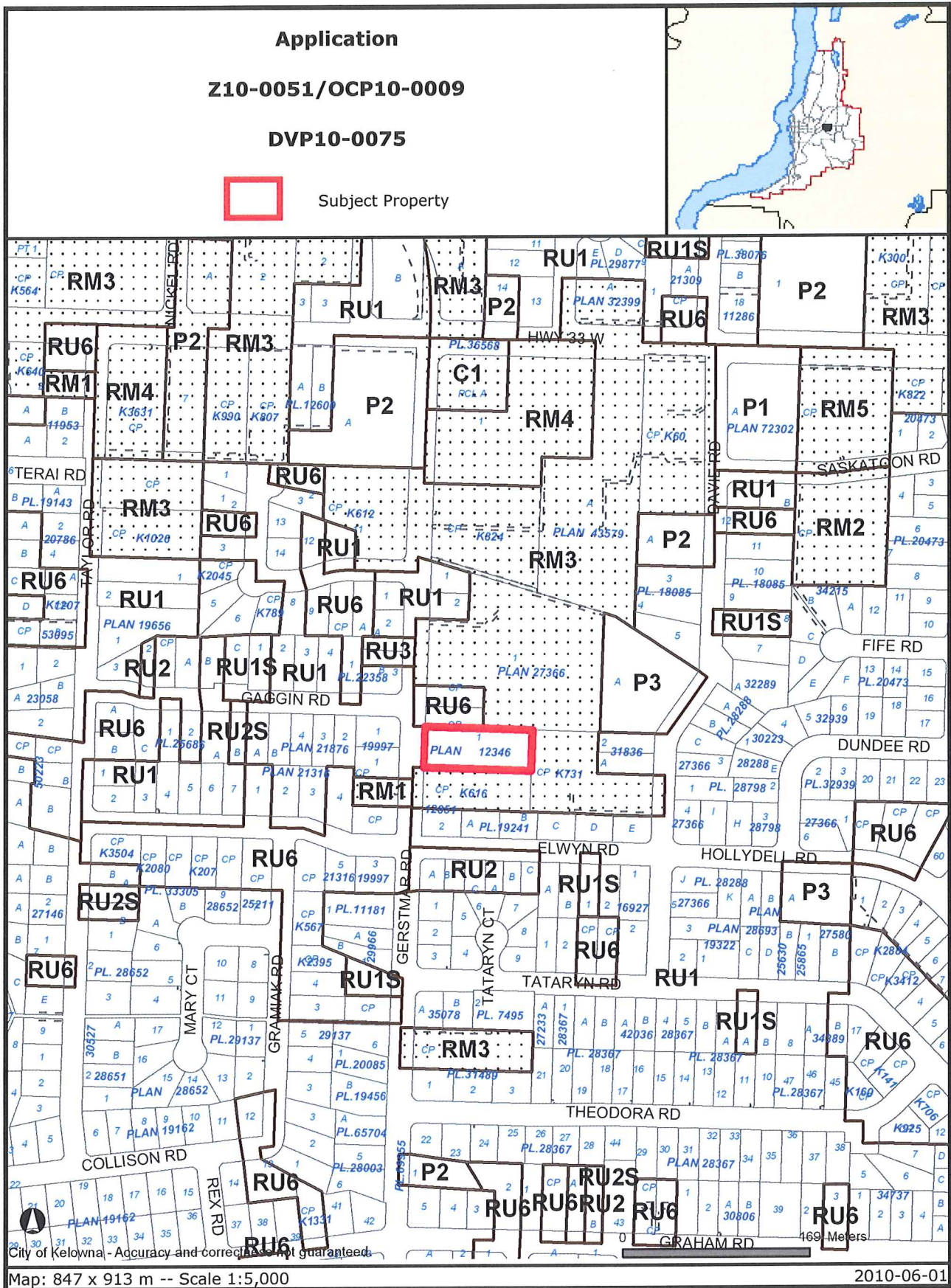
Subject Property Map

Schedule "A" - Conceptual Site & Floor Plans (3 pages)

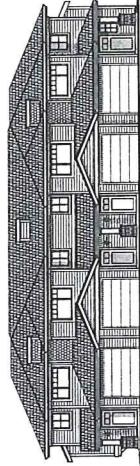
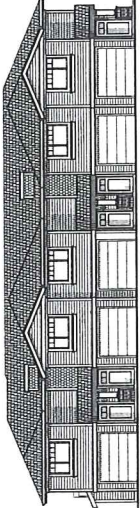
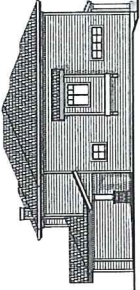
Schedule "B" - Conceptual Elevations, Colours & Materials (4 pages)

Schedule "C" - Landscape Plan (2 pages)

Schedule "D" - Driveway Improvements (Drawing No. 10014-00, Protech Consultants Ltd.)

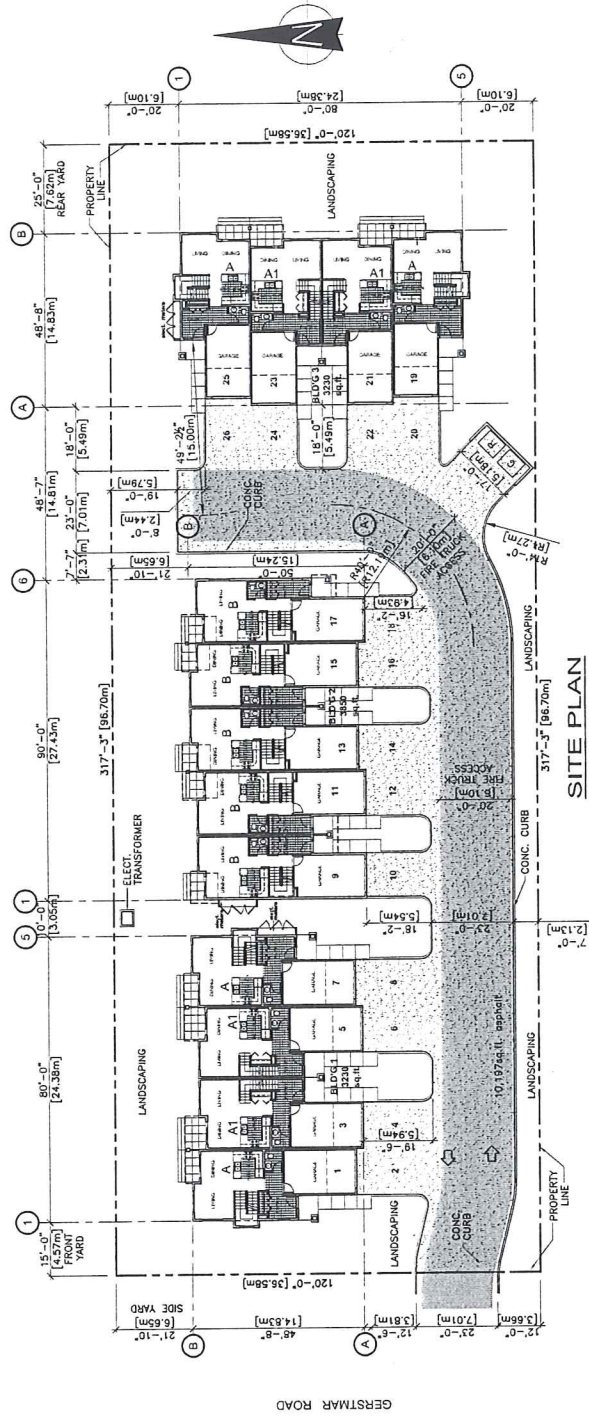


Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.



SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



SITE PLAN

SCALE: 1/16" = 1'-0"

SCHEDULE "A" (1 of 3)
 This forms part of development
 Permit # **DP10-0082 / DVP 10-0075**

PROJECT DATA

SITE AREA	38,070 sq.ft. (3,538.7 sq.m.)
BUILDING 1 AREA	3,252 sq.ft.
BUILDING 2 AREA	3,872 sq.ft.
BUILDING 3 AREA	3,552 sq.ft.
TOTAL BUILDING AREA	10,676 sq.ft.
SITE COVERAGE	
BUILDING SITE COVERAGE	10,376/38,070 = 27.25%
PARKING & DRIVEWAY	10,187/38,070 = 26.76%
TOTAL SITE COVERAGE	20,563/38,070 = 54.03%

UNITS

UNITS	# UNITS	AREA	TOTAL AREA
A - 3 BEDROOM	4	1,789 sq.ft.	7,156 sq.ft.
A1 - 3 BEDROOM	4	1,755 sq.ft.	7,020 sq.ft.
B - 2 BEDROOM + DEN	3	1,892 sq.ft.	5,676 sq.ft.
TOTAL UNITS	11		
TOTAL NET AREA (sq.ft.)	13		27,852 sq.ft.
TOTAL NET AREA (sq.m.)			2,584 sq.m.

LEGAL DESCRIPTION
 LOT 1, PLAN 12346

CIVIC ADDRESS
 335 GERSTMAR ROAD
 KELLOWNA, B.C.

FLOOR AREA RATIO - 26652/38070 = .695
 PARKING PROVIDED - 2/UNIT = 28

5		
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2	DEVELOPMENT PERMIT	APR. 2010
1	REVISION NO.	DATE

Water Street Architecture Inc.
 1150 West 10th Street, Suite 100
 Kelowna, BC V1Y 1V7
 Tel: 250.860.2225
 Fax: 250.860.2226
 Email: info@waterstreetarch.com

PROJECT:
 GERSTMAR ROAD
 TOWNHOMES
 KELLOWNA, B.C.

DRAWING TITLE:
 SITE PLAN

DRAWN BY:
 A.H.

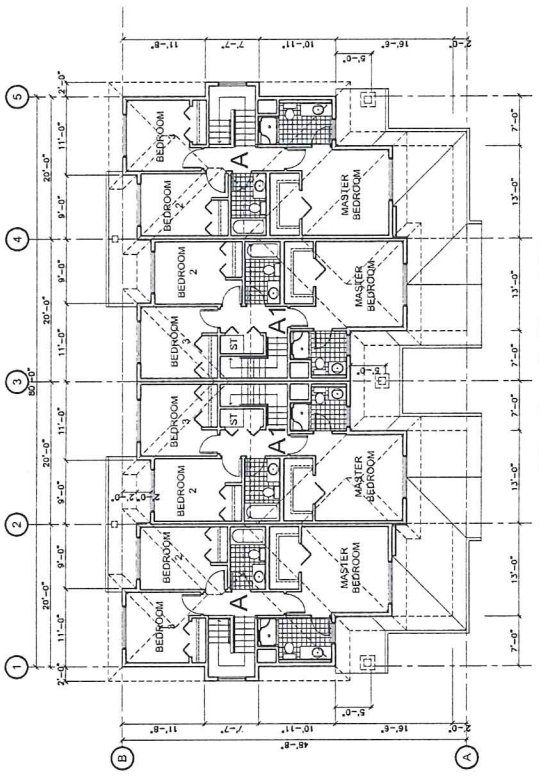
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 D.L.

DATE:
 APRIL 25, 2010

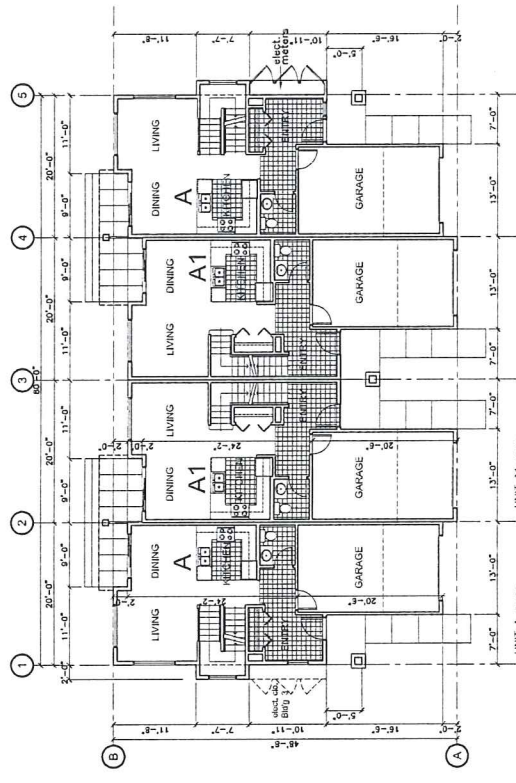
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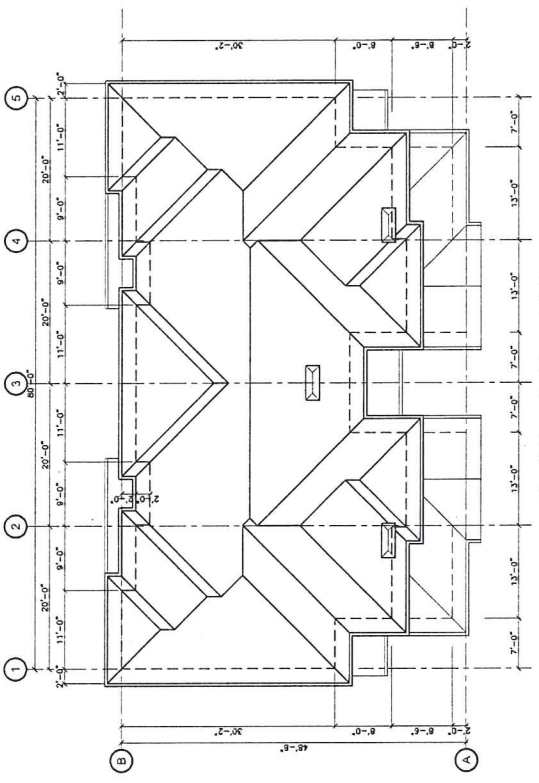
SCHEDULE "A" (2 of 3)
 This forms part of development
 Permit # DP10-0082 / DIR10-0015



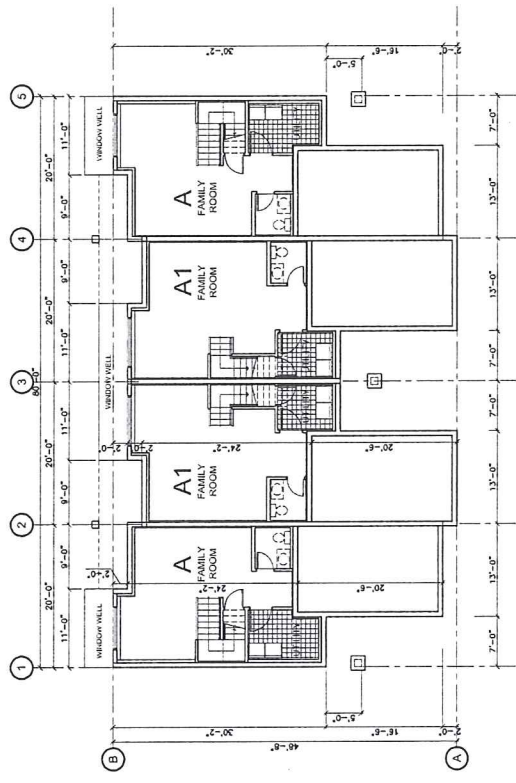
Second Floor Plan - Buildings 1 & 3



Main Floor Plan - Buildings 1 & 3



Roof Plan - Buildings 1 & 3



Basement Floor Plan - Buildings 1 & 3

NO	REVISION NO	DATE
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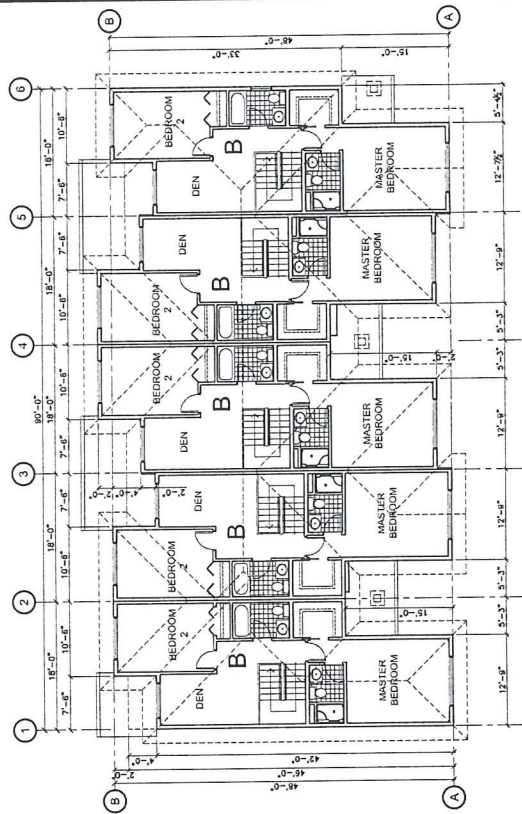
Walter Street Architecture Inc.
 Doug LaRue
 1838 Reynolds Ave., Kelowna, BC V1Y 1A7
 Tel: 250.762.2229
 Fax: 250.762.2294
 Email: doug@walterstreet.com

PROJECT:
 GERSTMAR ROAD
 TOWNHOMES
 KELOWNA, B.C.

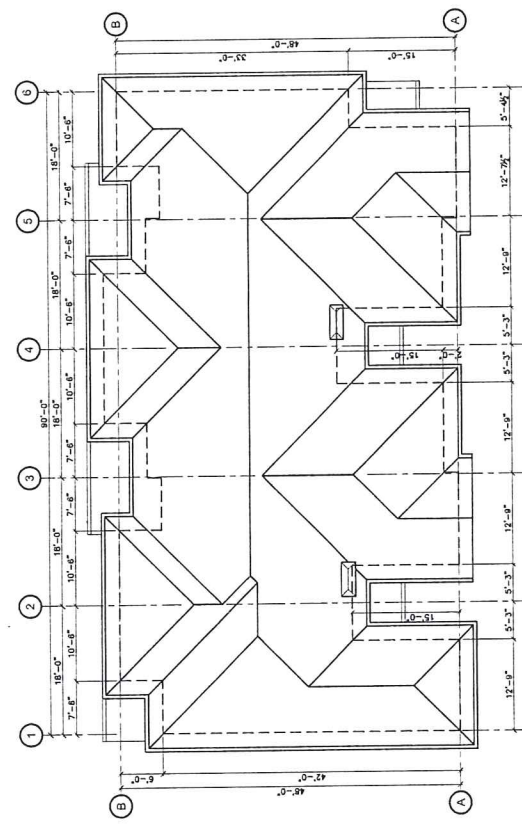
DRAWING TITLE:
 BUILDINGS 1 & 3
 FLOOR PLANS

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A.H.	D.L.
DATE:	SCALE:
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PROJECT NO.:	DRAWING NO.:
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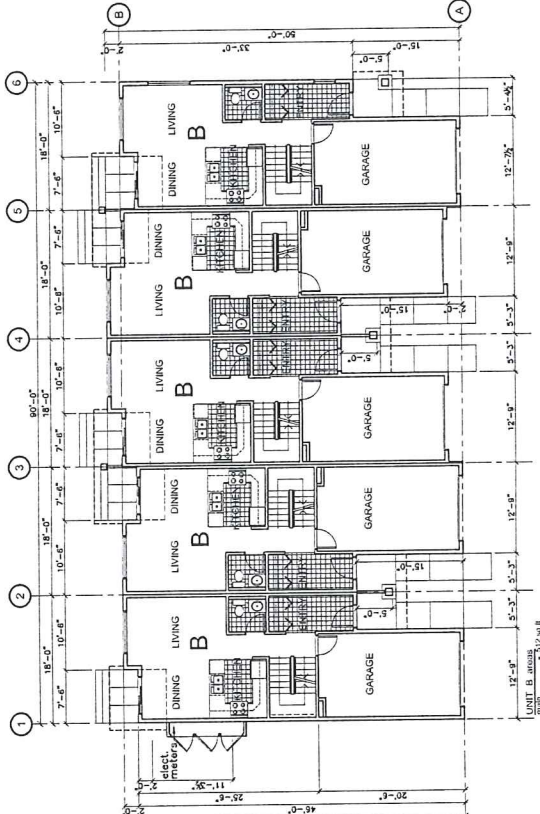
SCHEDULE "A" (3 of 3)
 This forms part of development
 Permit # DP10-0082 / DV10-0015



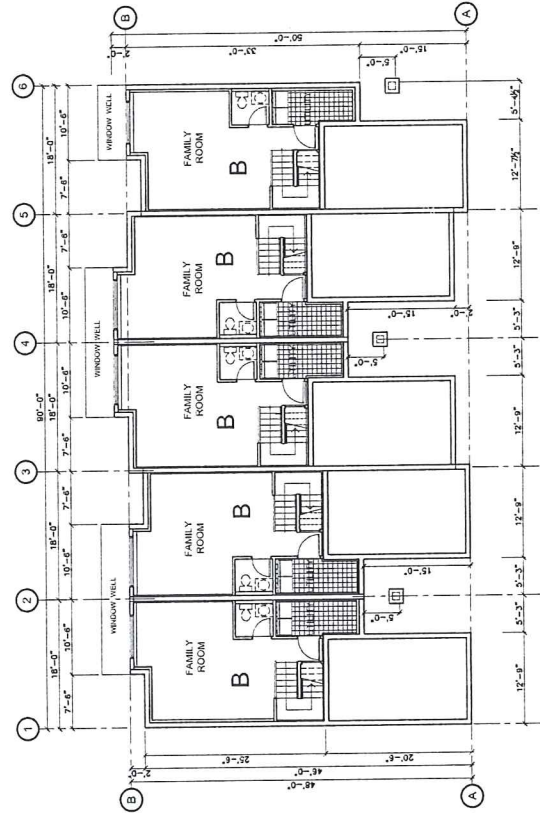
Second Floor Plan - Building 2



Roof Plan - Building 2



Main Floor Plan - Building 2



Basement Floor Plan - Building 2

NO.	REVISION NO.	DATE
1	DEVELOPMENT PERMIT	APR. 2010
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W
 water street architecture inc.
 Doug Lane
 1-250-762-2226 • dlan@waterstreetarch.com
 100 Newmarket Ave., Kelowna BC V1Y 1P7

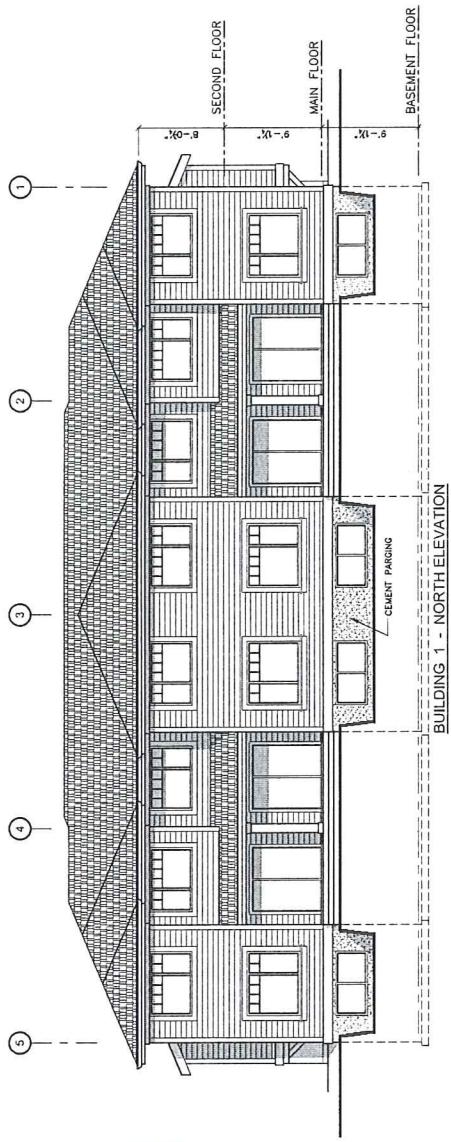
PROJECT:
**GERSTMAR ROAD
 TOWNHOMES**
 KELOWNA, B.C.

DRAWING TITLE:
**BUILDING 2
 FLOOR PLANS**

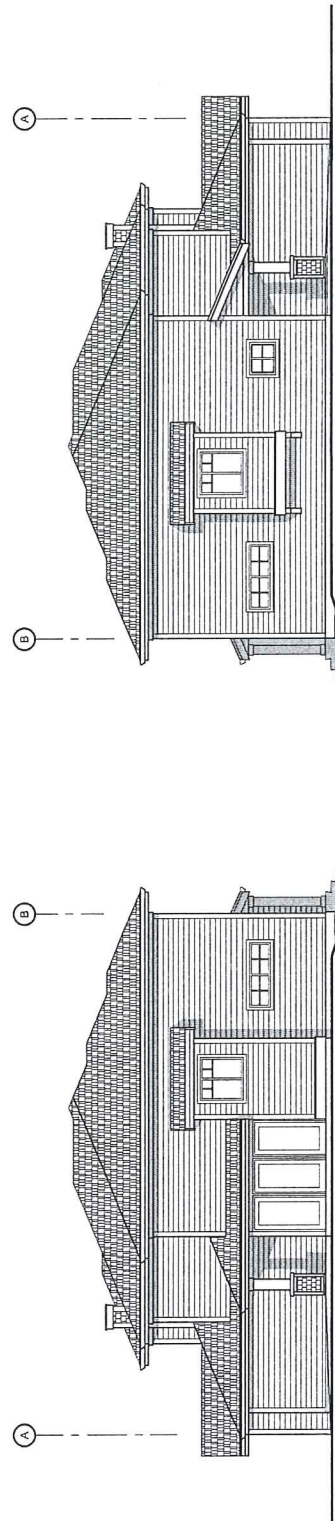
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APRIL 26, 2010	
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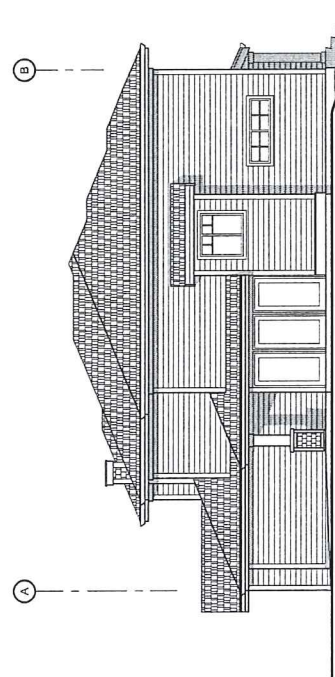
SCHEDULE "B" (1 of A)
 This forms part of development
 Permit # **DP10-0082 / DP10-0075**



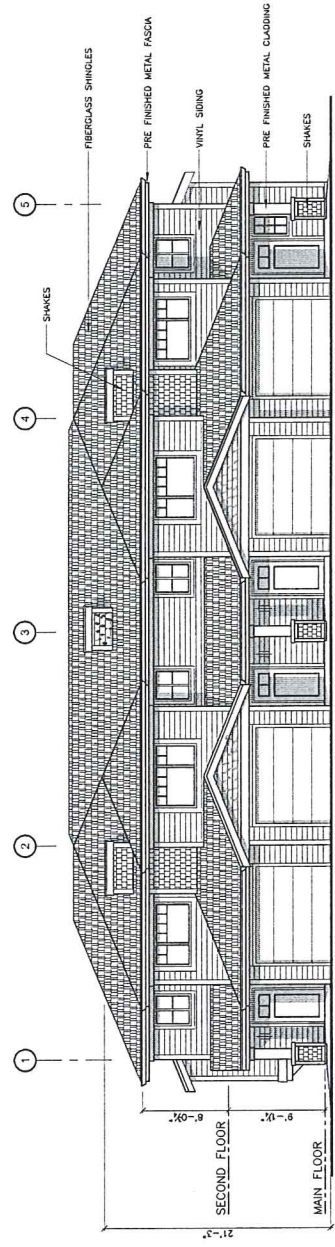
BUILDING 1 - NORTH ELEVATION



BUILDING 1 - WEST ELEVATION



BUILDING 1 - EAST ELEVATION



BUILDING 1 - SOUTH ELEVATION

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11	DEVELOPMENT PERMIT	APR. 2010
12	REVISION NO.	DATE



Doug Lane
 Doug Lane Architecture Inc.
 1188 Riverdale Ave., Kelowna, BC V1Y 1K7
 Tel: 250.862.2236 Fax: 250.862.0468
 www.douglane.ca

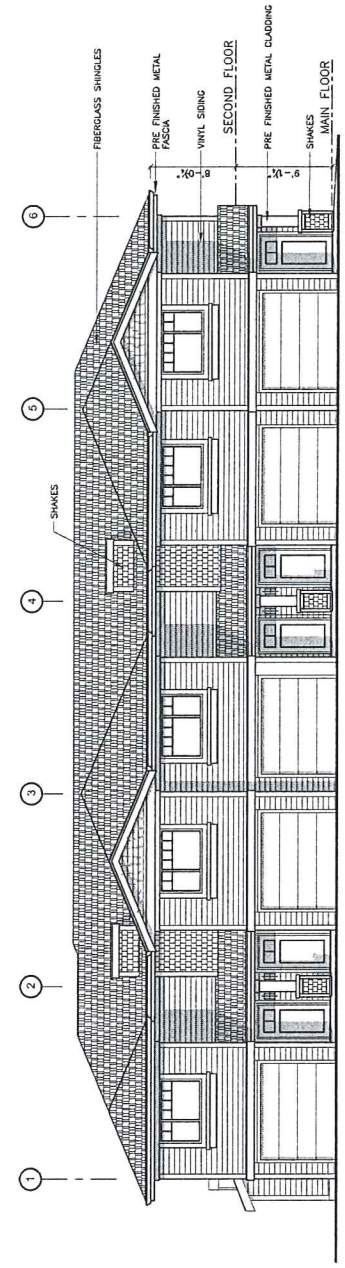
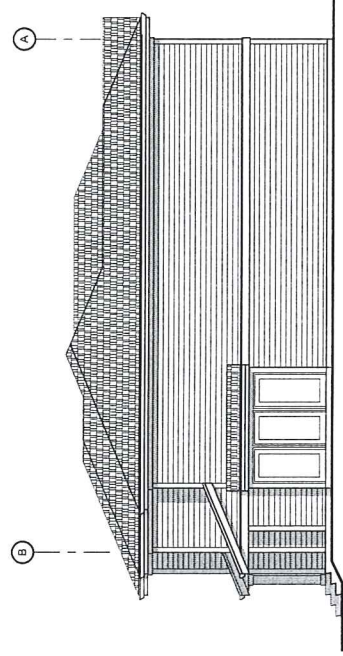
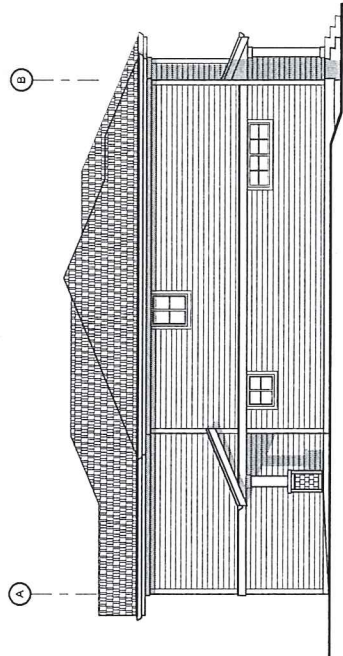
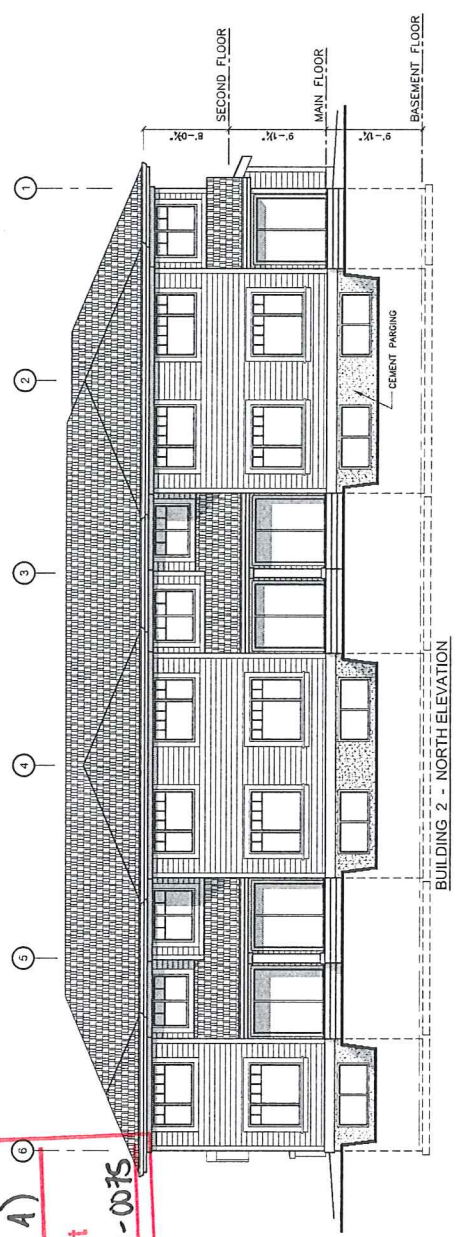
PROJECT:
GERSTMAR ROAD TOWNHOMES
 KELOWNA, B.C.

DRAWING TITLE:
BUILDING 1 ELEVATIONS

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 A.A.K.
 CHECKED BY:
 P.L.
 DATE:
 APRIL 20, 2010
 SCALE:
 3/16"=1'-0"
 PROJECT NO.:

A2.1

SCHEDULE "B" (2 of 4)
 This forms part of development
 Permit # DP10-0082 / DP10-0075



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2	REVISION NO.	DATE

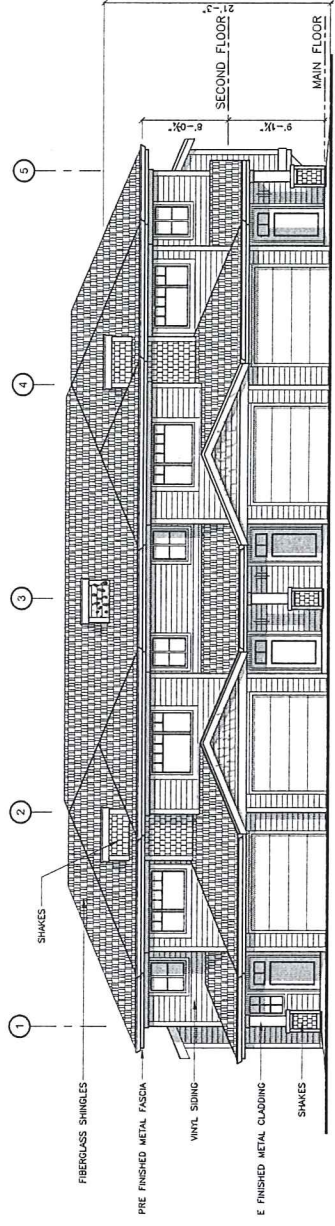
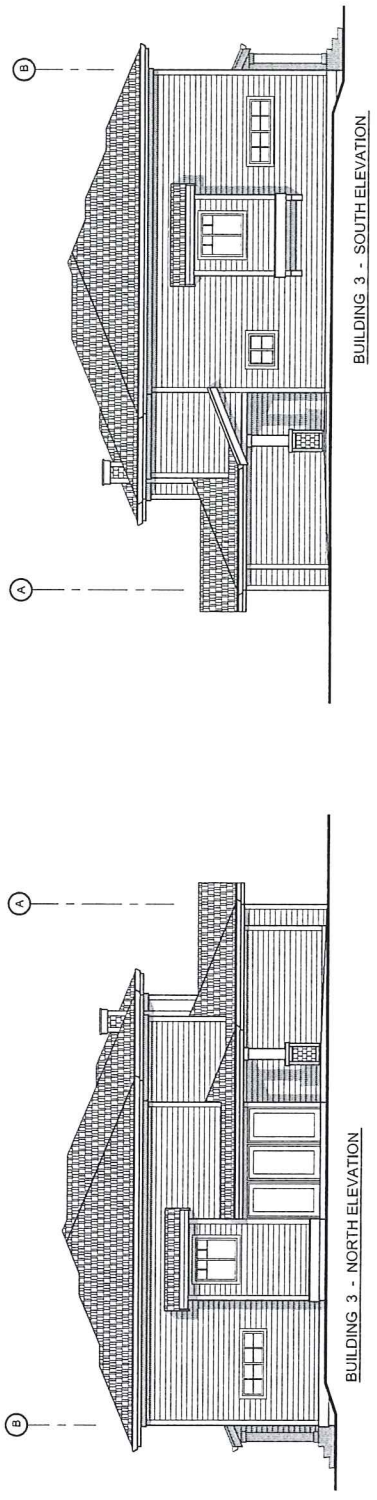
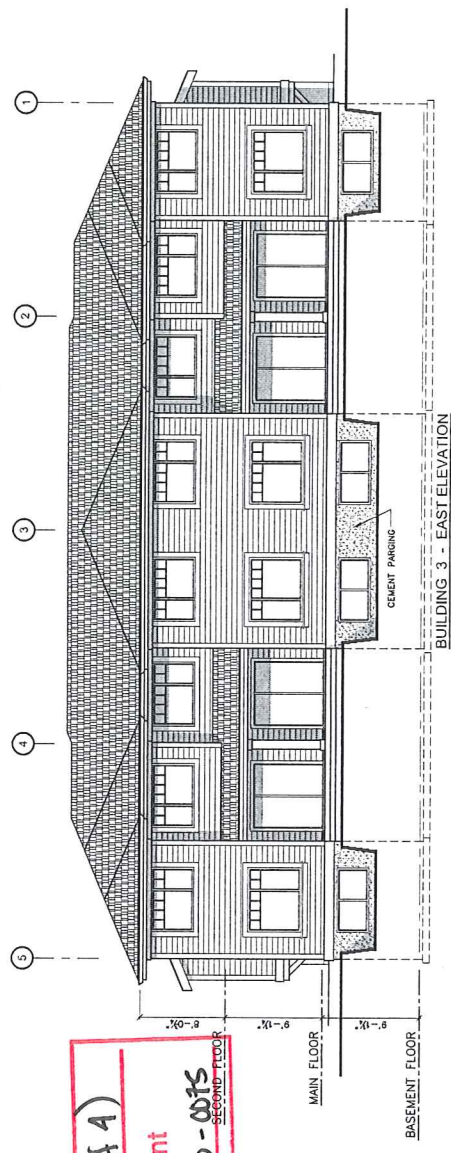
water Street architecture Inc.
 Doug Lane
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PROJECT:
GERSTMAR ROAD TOWNHOMES
 KELOWNA, B.C.

DRAWING TITLE:
BUILDING 2 ELEVATIONS

CHECKED BY:
 A.P.
 DATE:
 APRIL 25, 2010
 PROJECT NO.:
 DRAWING NO.:
A2.2

SCHEDULE "B" (3 of 4)
 This forms part of development
 Permit # DP10-0082 / DV10-0075
 SECOND FLOOR



NO.	REVISION NO.	DATE
1	DEVELOPMENT PERMIT	APR 20/10
2		
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Doug Lane
 Keller Street Architecture Inc.
 1201 West 22nd St. Kelowna, BC V1Y 1L7
 250.862.2225 • 250.862.0488 • kellerstreet@celstruck.com

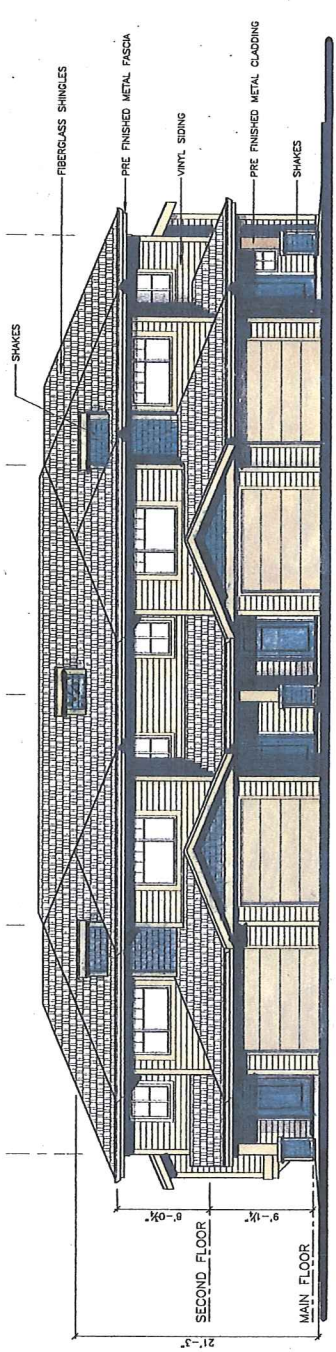
PROJECT:
GERSTMAR ROAD TOWNHOMES
 KELOWNA, B.C.

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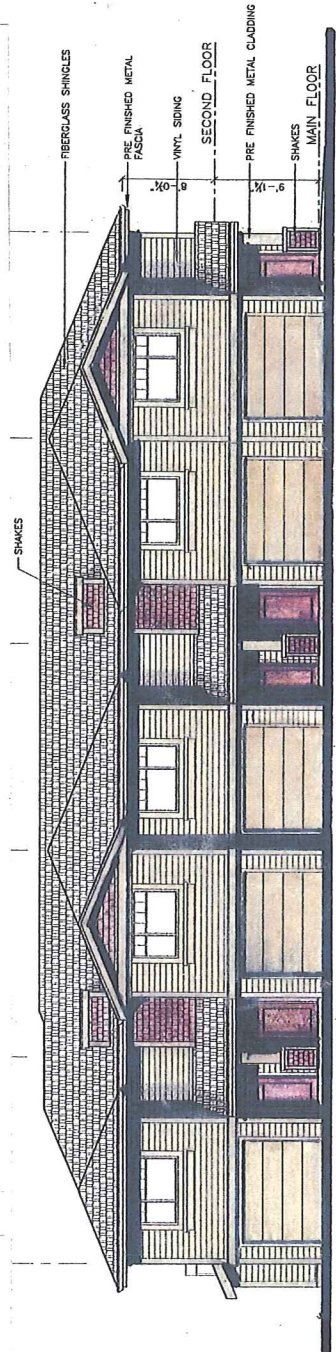
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 DATE:
 APRIL 26, 2010
 PROJECT NO.:

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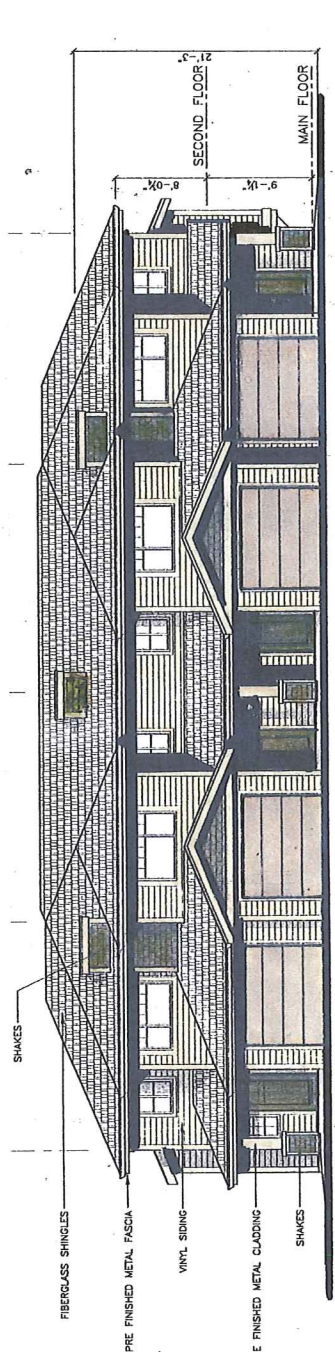
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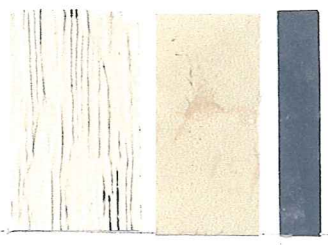
BUILDING 1 - SOUTH ELEVATION



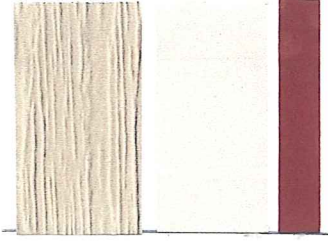
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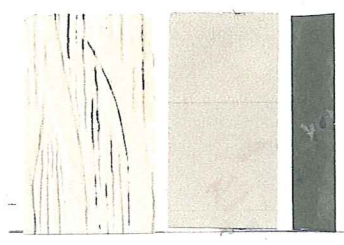
BUILDING 3 - WEST ELEVATION



SIDING - Almond (Gentek 632)
 TRIM - Wicker (Gentek 538)
 ACCENT- Evening Blue (James Hardie)



SIDING - Wicker (Gentek 638)
 TRIM - Canyon Clay (Gentek 510)
 ACCENT - Traditional Red (James Hardie)



SIDING - Almond (Gentek 632)
 TRIM - Pebble (Gentek 559)
 ACCENT - Mountain Sage (James Hardie)

SCHEDULE "B" (4 of 4)
 This forms part of development
 Permit # **DP16-0082 / DP16-0075**

PROJECT:
**GERSTMAR ROAD
 TOWNHOMES**
 KELOWNA, B.C.



Doug Lane
 water street architecture inc.
 I member architectural institute of british columbia
 P. 250.762.2235 f. 250.762.4584 e. doug@waterstreetarchitect.com
 1648 Riverside Ave., Kelowna, BC V1Y 1A7

NOTE:
 These plant recommendations are preliminary.
 WATERS 27 ARCHITECTURE INC.

All proposed drawings and specifications are preliminary and subject to change without notice. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for providing all necessary information on the drawings and specifications. The contractor shall be responsible for providing all necessary information on the drawings and specifications. The contractor shall be responsible for providing all necessary information on the drawings and specifications.

0	MAY 17/20	Issue for PERMITS/ENGINEERING
1	NOV 20/19	Revised PERMITS/ENGINEERING
2		
3		

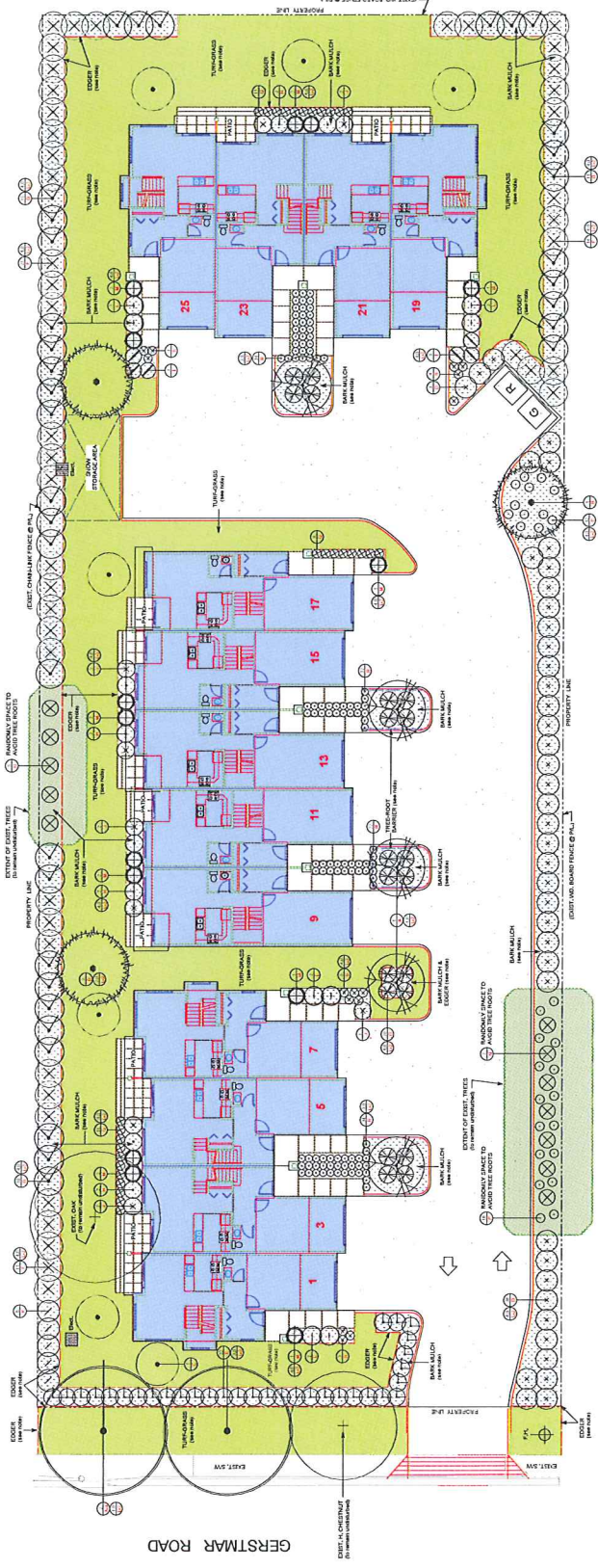


Project Title:
**GERSTMAR RD.
 TOWNHOMES**
 RELOWNA, B.C.

Sheet Title:
**PLANTING
 PLAN**

PROJECT: M16108P
DATE: MAY 2019
SCALE: 1:100
DRAWN/CHECK: G.S.

L-1.2



NOTE:
 All sidewalks and patios are "brown finish" concrete.

ID	Qty	Botanical Name	Common Name	Site	Mat. Ht. / Spk.	Prop. Species	Remarks
A	5	<i>Catalpa banyana</i> 'Palmis Scarlet'	Palmis Scarlet Hawthorn	42M, CAL	65M, AS SHOWA	WB, strong leader, good form	1.2m clear stem ht.
Aa	2	<i>Acacia x carnea</i> 'Blotch'	Brook Red Horns Chestnut	60M, CAL	95M, AS SHOWA	WB, strong leader, good form	
B	3	<i>Pinus nigra</i>	Austrian Pine	2-4MHT	AS SHOWA	Multiple branches, form as small tree	
C	7	<i>Comus coccinea</i> 'Royal Purple'	Royal Purple Smoke Bush	30M, #2 CONT.	AS SHOWA	Multiple branches, good form	
D	1	<i>Prunella</i>	Prunella	27.5M, #2 CONT.	1.5M, cc.	Multiple branches, good form	
E	30	<i>Cotoneaster astalis</i>	Prunella	3.0M, #2 CONT.	1.5M, cc.	Multiple branches, good form	Screen hedge
F	46	<i>Syringa x hybridation</i> 'Mount Baker'	Mount Baker Lilac	3.0M, #2 CONT.	1.5M, cc.	Multiple branches, maintain as informal hedge	
G	35	<i>Syringa x hybridation</i> 'Peachbloss'	Peachbloss Lilac	3.0M, #2 CONT.	1.5M, cc.	Multiple branches, good form	
H	8	<i>Comus alba</i> 'Blud's Yellow'	Blud's Yellow Dogwood	#2 CONT.	1.5M, AS SHOWA	Multiple branches, good form	
I	6	<i>Spirea vanutida</i> 'Goldflame'	Goldflame Spirea	#2 CONT.	1.0M, cc.	Multiple branches, good form	
J	5	<i>Manisotium 'Ritzy'</i>	Ritzy	#2 CONT.	1.2M, cc.	Multiple branches, good form	
K	8	<i>Veigela Boris 'Alexander'</i>	Alexander	#2 CONT.	1.5M, cc.	Multiple branches, good form	Informal hedge
L	14	<i>Pinus nigra</i> 'Pumilus'	Dwarf Mugo Pine	#2 CONT.	AS SHOWA	Multiple branches, good form	
M	12	<i>Malus aquilum</i>	Tall Oregon Grape	#2 CONT.	1.2M, 2M, RANDOM	Multiple branches, good form	
N	20	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	#2 CONT.	1.2M, cc.	Full plants, good form	
O	20	<i>Arctostaphylos uva-ursi</i>	Manzanita	#2 CONT.	1.2M, cc.	Full plants, good form	
P	10	<i>Arctostaphylos uva-ursi</i>	Manzanita	#2 CONT.	1.2M, cc.	Full plants, good form	
R	112	<i>Phlox subulata</i>	Subulata Phlox	#2 CONT.	20-30M, cc.	Full plants, good form	
S	15	<i>Hemerocallis 'Shell's on Top'</i>	Shell's on Top Daylily	#2 CONT.	45-51M, RANDOM	Full plants, good form	

SCHEDULE "C" (1 of 2)
 This forms part of development
 Permit # **DP10-0082 / DWP10-0015**

CONTRACT DOCUMENTS

The Contractor shall be responsible for the Contract Documents. Any changes to the Contract Documents shall be made in writing by the Contractor. The Contractor shall be responsible for obtaining all necessary permits and licenses. The Contractor shall be responsible for obtaining all necessary approvals from the relevant authorities. The Contractor shall be responsible for obtaining all necessary approvals from the relevant authorities. The Contractor shall be responsible for obtaining all necessary approvals from the relevant authorities.

DRAWINGS & SPECIFICATIONS

The Contractor shall be responsible for the drawings and specifications. The Contractor shall be responsible for the drawings and specifications. The Contractor shall be responsible for the drawings and specifications. The Contractor shall be responsible for the drawings and specifications. The Contractor shall be responsible for the drawings and specifications.

COMPLIANCE

The Contractor shall be responsible for compliance with all applicable laws and regulations. The Contractor shall be responsible for compliance with all applicable laws and regulations. The Contractor shall be responsible for compliance with all applicable laws and regulations. The Contractor shall be responsible for compliance with all applicable laws and regulations.

SITE CONDITION

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SITE DAMAGE

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UTILITIES

The Contractor shall be responsible for utilities. The Contractor shall be responsible for utilities. The Contractor shall be responsible for utilities. The Contractor shall be responsible for utilities. The Contractor shall be responsible for utilities.

SHOP DRAWINGS & PRODUCT SAMPLE REVIEW

The Contractor shall be responsible for shop drawings and product sample review. The Contractor shall be responsible for shop drawings and product sample review. The Contractor shall be responsible for shop drawings and product sample review. The Contractor shall be responsible for shop drawings and product sample review.

INSPECTIONS

The Contractor shall be responsible for inspections. The Contractor shall be responsible for inspections. The Contractor shall be responsible for inspections. The Contractor shall be responsible for inspections. The Contractor shall be responsible for inspections.

GRADING & DRAINAGE

The Contractor shall be responsible for grading and drainage. The Contractor shall be responsible for grading and drainage. The Contractor shall be responsible for grading and drainage. The Contractor shall be responsible for grading and drainage.

PROTECTION OF TREES

The Contractor shall be responsible for protection of trees. The Contractor shall be responsible for protection of trees. The Contractor shall be responsible for protection of trees. The Contractor shall be responsible for protection of trees.

GROWING MEDIUM

The Contractor shall be responsible for growing medium. The Contractor shall be responsible for growing medium. The Contractor shall be responsible for growing medium. The Contractor shall be responsible for growing medium.

REPLACEMENT GUARANTEE

The Contractor shall be responsible for replacement guarantee. The Contractor shall be responsible for replacement guarantee. The Contractor shall be responsible for replacement guarantee. The Contractor shall be responsible for replacement guarantee.

PRODUCTS

The Contractor shall be responsible for products. The Contractor shall be responsible for products. The Contractor shall be responsible for products. The Contractor shall be responsible for products.

BARK MULCH PRODUCT

The Contractor shall be responsible for bark mulch product. The Contractor shall be responsible for bark mulch product. The Contractor shall be responsible for bark mulch product. The Contractor shall be responsible for bark mulch product.

PLASTIC EDGING

The Contractor shall be responsible for plastic edging. The Contractor shall be responsible for plastic edging. The Contractor shall be responsible for plastic edging. The Contractor shall be responsible for plastic edging.

IRRIGATION SYSTEM

The Contractor shall be responsible for irrigation system. The Contractor shall be responsible for irrigation system. The Contractor shall be responsible for irrigation system. The Contractor shall be responsible for irrigation system.

TURFGRASS SOD PRODUCT

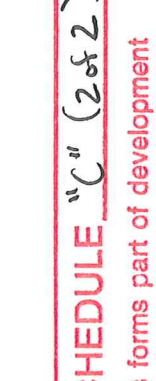
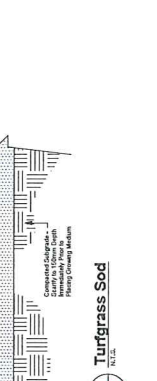
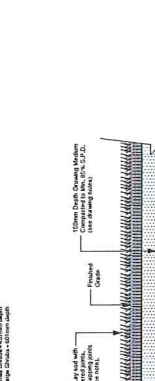
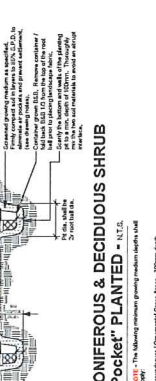
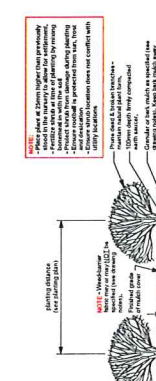
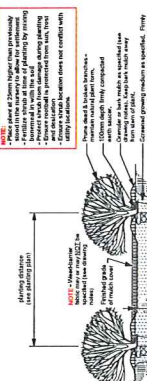
The Contractor shall be responsible for turfgrass sod product. The Contractor shall be responsible for turfgrass sod product. The Contractor shall be responsible for turfgrass sod product. The Contractor shall be responsible for turfgrass sod product.

TREE ROOT BARRIER

The Contractor shall be responsible for tree root barrier. The Contractor shall be responsible for tree root barrier. The Contractor shall be responsible for tree root barrier. The Contractor shall be responsible for tree root barrier.

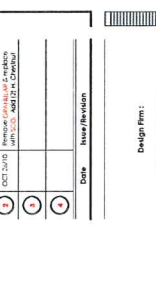
CONIFEROUS & DECIDUOUS SHRUB

The Contractor shall be responsible for coniferous and deciduous shrub. The Contractor shall be responsible for coniferous and deciduous shrub. The Contractor shall be responsible for coniferous and deciduous shrub. The Contractor shall be responsible for coniferous and deciduous shrub.



NOTE:
New job numbers as provided by WATTS ST. ARCHITECTURE INC.
All ground dimensions and specifications are shown in feet and inches. All dimensions are to the centerline of the structure unless otherwise noted. All dimensions are to the centerline of the structure unless otherwise noted. All dimensions are to the centerline of the structure unless otherwise noted.

NO.	DATE	BY	REVISION
1	01/20/20	WATTS ST. ARCHITECTURE INC.	Initial
2	02/10/20	WATTS ST. ARCHITECTURE INC.	Revised
3	03/10/20	WATTS ST. ARCHITECTURE INC.	Revised



Design Firm:
WATTS ST. ARCHITECTURE INC.
2002-20th Street
VERNON, LA. 71477
Phone: 504.835.1317
www.wattsst.com

Project Title:
GERSTMAR RD.
TOWNHOMES
ECONOMA, L.C.

Sheet Title:
NOTES &
DETAILS

PROJECT:	11/01/19
DATE:	04/11/2020
SCALE:	AS SHOWN
DRAWN/ CHECK:	G.A.

SCHEDULE "C" (2 of 2)
This forms part of development Permit # DP10-0082/DP10-0075

Toni / Protec.

Date: 27-Apr-2010
Requestor: (PC64764)
Folio:

TITLE SEARCH PRINT
SPEEDY SEARCH AND REGISTRY
TITLE - CA1492560

Time: 14:20:44
Page 001 of 001

KAMLOOPS LAND TITLE OFFICE TITLE NO: CA1492560
FROM TITLE NO: CA965633

APPLICATION FOR REGISTRATION RECEIVED ON: 19 MARCH, 2010
ENTERED: 24 MARCH, 2010

REGISTERED OWNER IN FEE SIMPLE:
KANE #2 RESOURCES LTD., INC.NO. BC0807695
908 EL PASO ROAD
KELOWNA, BC
V1X 2S2

TAXATION AUTHORITY:
CITY OF KELOWNA
RUTLAND WATERWORKS DISTRICT

DESCRIPTION OF LAND:
PARCEL IDENTIFIER: 002-084-325
LOT 1 SECTION 22 TOWNSHIP 26 OSOYOOS DIVISION YALE DISTRICT PLAN 12346

LEGAL NOTATIONS: NONE

CHARGES, LIENS AND INTERESTS: NONE

DUPLICATE INDEFEASIBLE TITLE: NONE OUTSTANDING

TRANSFERS: NONE

PENDING APPLICATIONS: NONE

*** CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN ***